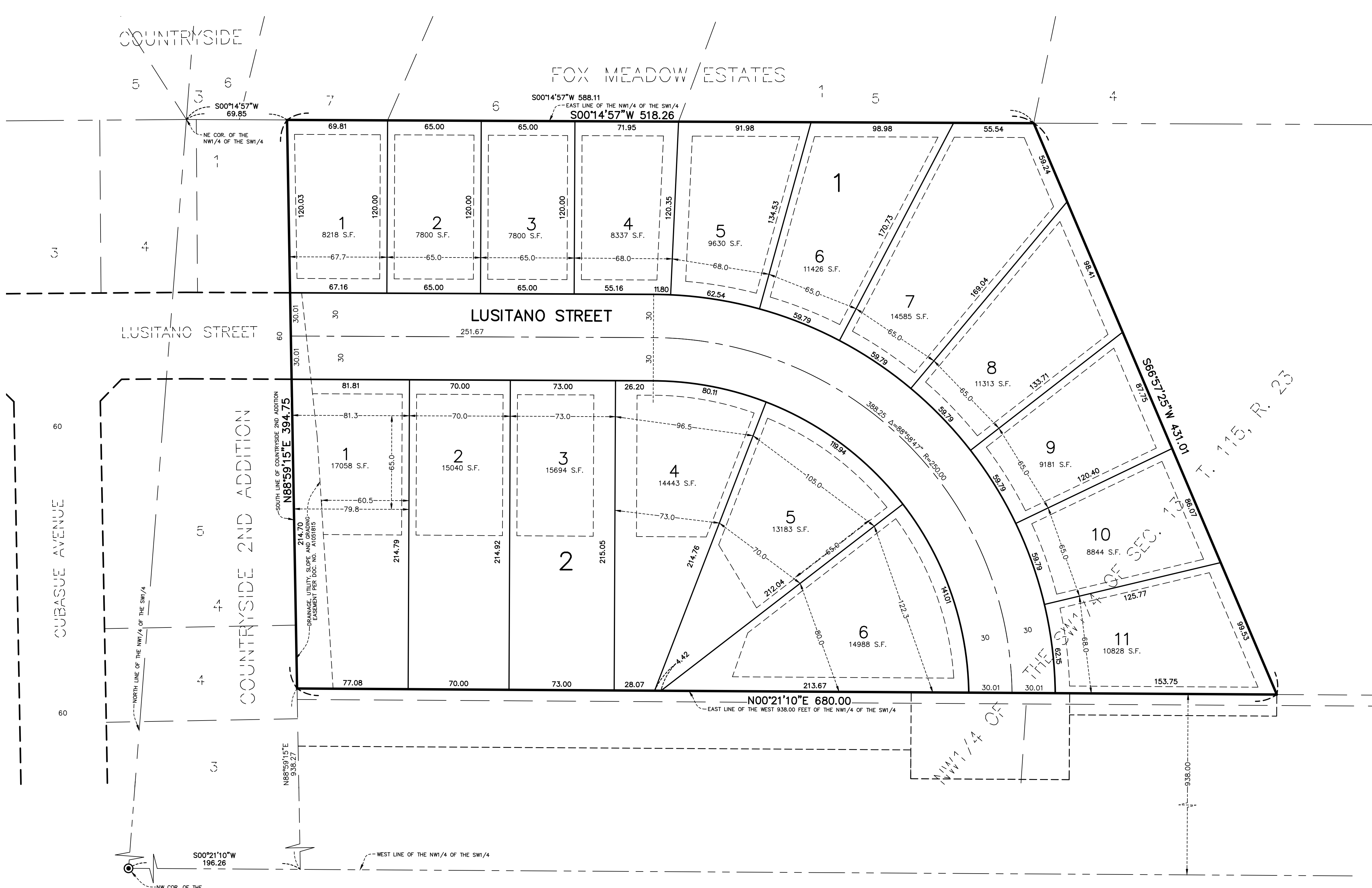
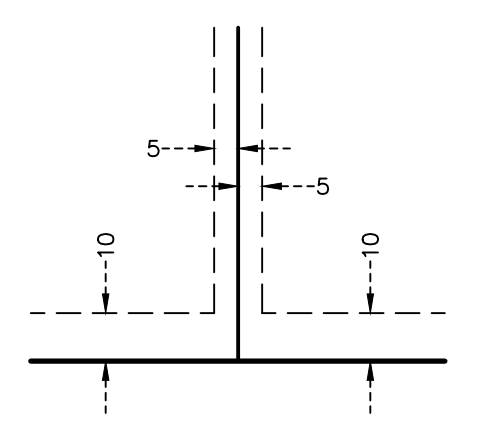


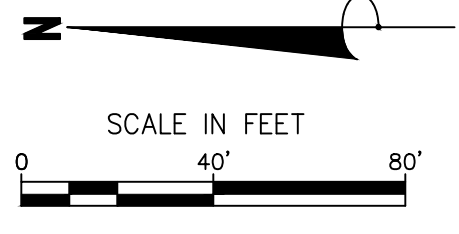
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DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



DRAINAGE AND UTILITY EASEMENTS BEING 5 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, ADJOINING LOT LINES, AND BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, ADJOINING RIGHT OF WAY LINES, AS SHOWN ON THIS PLAT.



PROPERTY DESCRIPTION
 That part of the Northwest Quarter of the Southwest Quarter of Section 13, Township 115, Range 23, Scott County, Minnesota that lies east or the West 938.00 feet thereof and South of a line described as follows:
 Beginning at a point on the east line of said Northwest Quarter of the Southwest Quarter of the Southwest Quarter; thence west to a point on the west line of said Northwest Quarter of the Southwest Quarter distant 196.26 feet south From the Northwest corner of said Northwest Quarter of the Southwest Quarter and said line there terminating.
 And lying northerly of a line described as follows:
 Commencing at the northeast corner of said Northwest Quarter of the Southwest Quarter; thence South 00 degrees 14 minutes 57 seconds West, assumed bearing, along the east line of said North Quarter a distance of 588.11 feet to the point of beginning of the line to be described; thence South 66 degrees 57 minutes 25 seconds West a distance of 431.01 feet to the east line of the west 938.00 feet of said Northwest Quarter of the Southwest Quarter and said line there terminating.

SITE DATA

LOTS	17 LOTS
TOTAL SITE AREA	5.44 AC.
LOT AREA	4.56 AC.
RIGHT OF WAY AREA	0.88 AC.
GROSS DENSITY	3.13 LOTS/AC
NET DENSITY	3.73 LOTS/AC

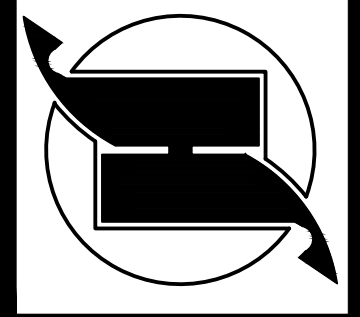
EXISTING/PROPOSED ZONING IS R1B - URBAN RESIDENTIAL

MINIMUM LOT WIDTH	60 FEET
MINIMUM LOT DEPTH	100 FEET
MAXIMUM IMPERVIOUS SURFACE	50%

MINIMUM BUILDING SETBACKS

FRONT	25 FEET
SIDE YARD (INTERIOR)	7.5 FEET
SIDE YARD (STREET)	15 FEET
REAR	30 FEET

James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
 2999 WEST C.R. 42, SUITE 100, BURNSVILLE, MN 55306
 PHONE: 952.890.6044 www.jrhinc.com



KANGAS PARCEL
 SHAKOPEE, MINNESOTA
PRELIMINARY PLAT
 FOR
DONNAY HOMES, INC.
 9655 63RD AVENUE NORTH, MAPLE GROVE, MN 55369

DRAWN BY	PLM
DATE	10/23/2023
REVISIONS	A. 12/12/23: Block 1 layout

CAD FILE	24119pp.dwg
PROJECT NO.	24119-00
	2.0

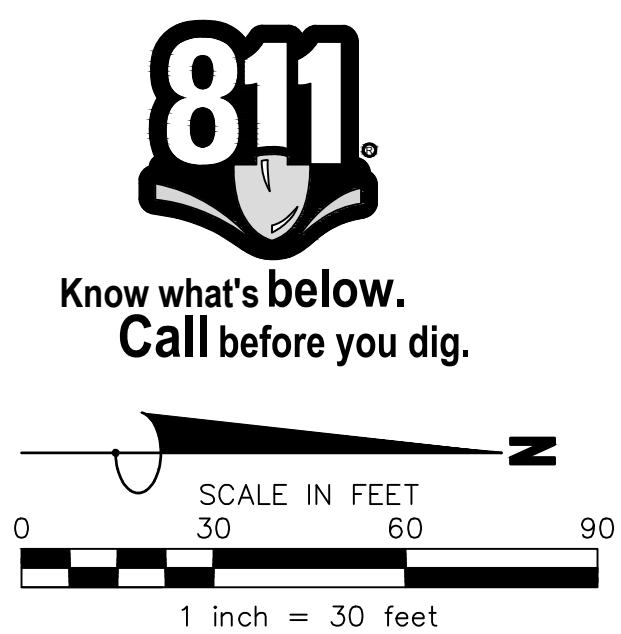
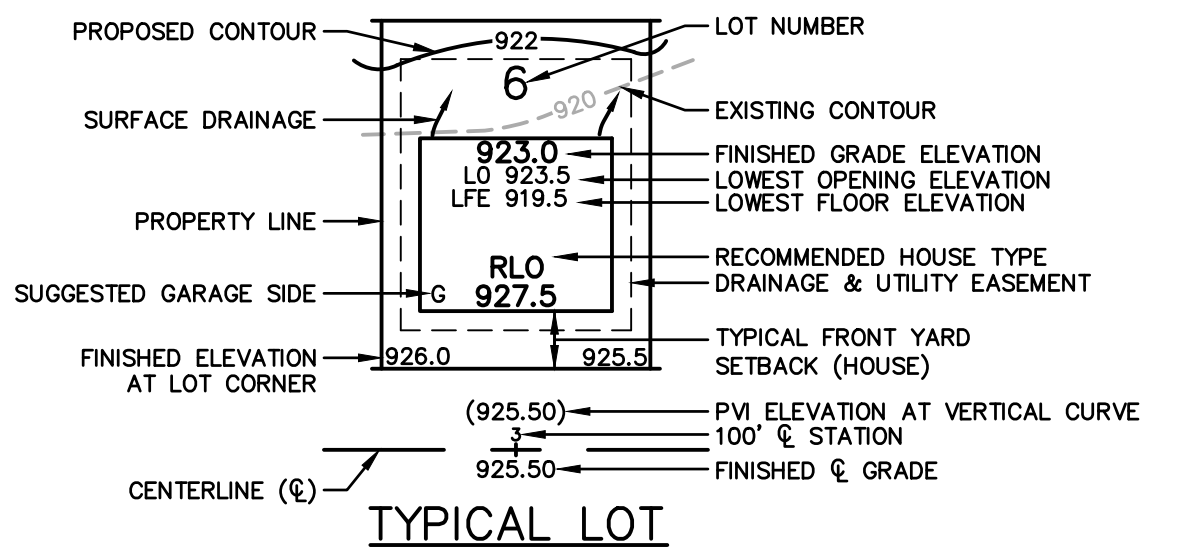
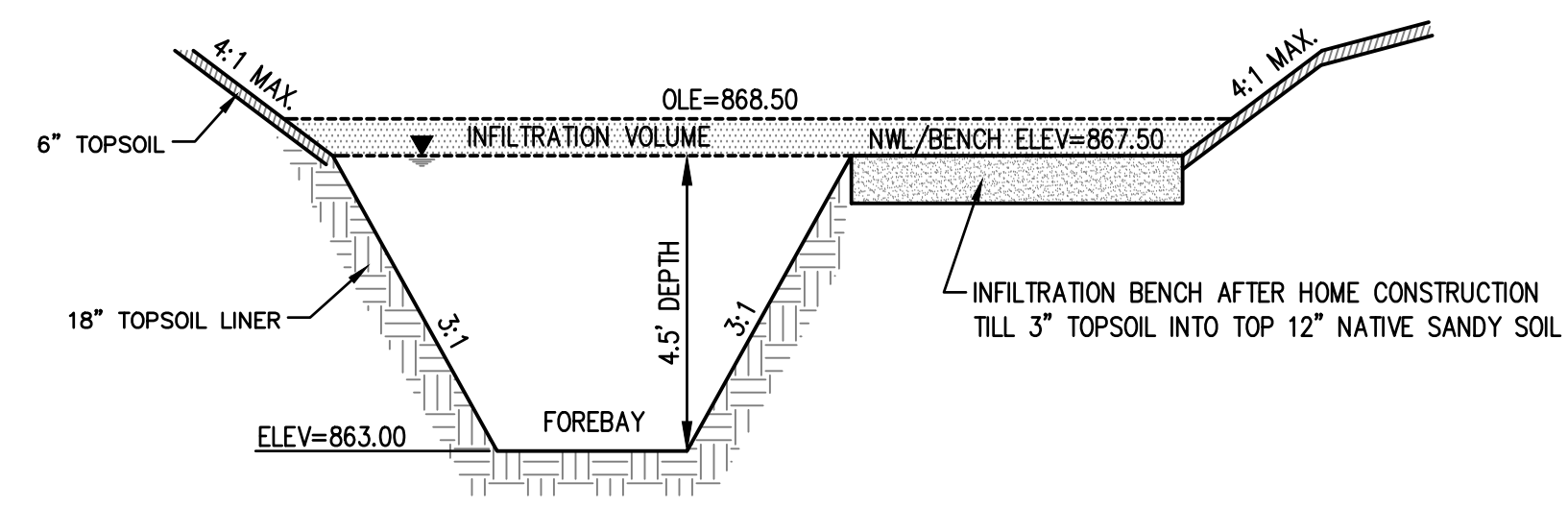
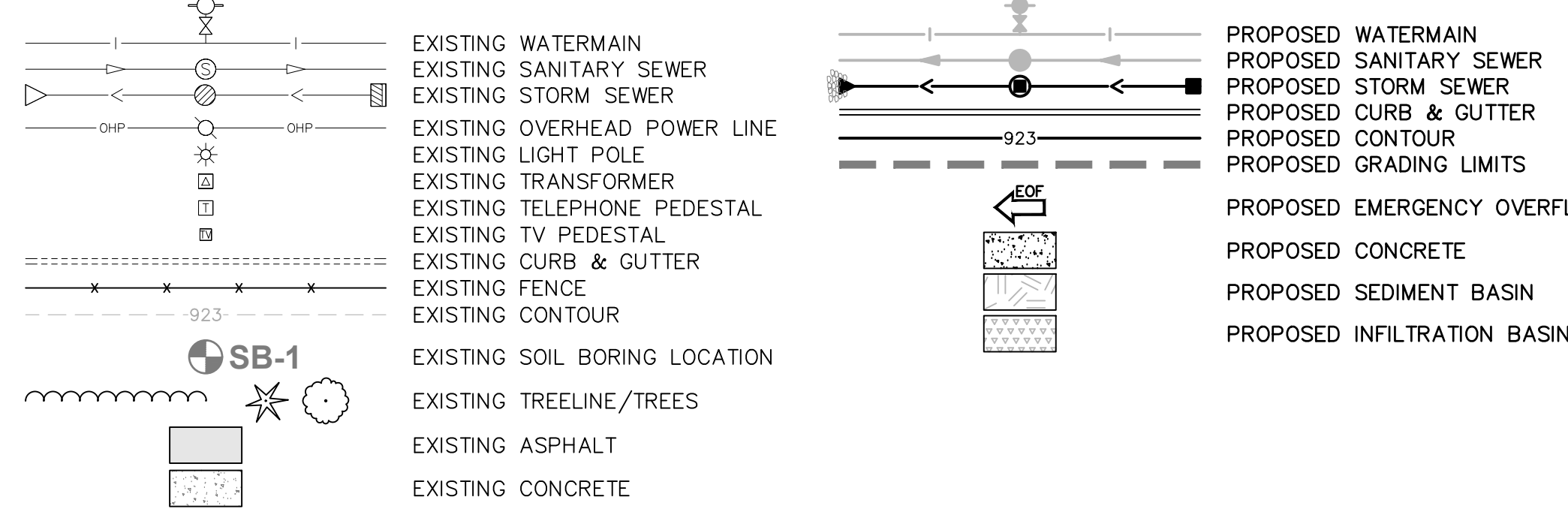
STANDARD GRADING NOTES:

- SPECIFICATIONS WHICH APPLY ARE THE MOST RECENT EDITIONS OF THE MUNICIPALITY IN WHICH THE WORK IS LOCATED AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY CONSTRUCTION UNLESS MODIFIED HEREIN ON THESE CONTRACT DOCUMENTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO UTILIZE THE "GOPHER STATE ONE CALL" EXCAVATION NOTICE SYSTEM AS REQUIRED UNDER MINNESOTA STATUTE CHAPTER 216D. CALL 811 OR SUBMIT A TICKET AT gopherstateonecall.org AT LEAST 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION.
- GRADING CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION AS CALLED FOR ON THESE CONTRACT DOCUMENTS SHALL BE PERFORMED IN ACCORDANCE WITH ALL OSHA REQUIREMENTS.
- ALL LOT AND EASEMENT DIMENSIONS ARE SUBJECT TO FINAL PLAT.
- IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO DISPOSE OFF-SITE ALL TREES, STUMPS, BRUSH, OR OTHER DEBRIS THAT EXISTS WITHIN THE CONSTRUCTION AREAS. TREES TO REMAIN SHALL BE DESIGNATED BY THE ENGINEER.
- THE GRADING CONTRACTOR SHALL SCHEDULE THE SOILS ENGINEER SO THAT CERTIFICATION OF ALL CONTROLLED FILLS CAN BE FURNISHED TO THE OWNER DURING AND UPON COMPLETION OF THE PROJECT.
- DENSITY TESTS SHALL BE TAKEN TO EVALUATE THE COMPACTION WITHIN THE STREETS, TRAVEL WAYS OR PARKING LOTS. WITHIN THE UPPER 3 FEET OF STREET, TRAVEL WAYS OR PARKING LOT SUBGRADE, THE CONTRACTOR SHALL INSURE THAT ALL SOILS BE NOT MORE THAN ONE PERCENTAGE POINT OVER THE SOIL'S STANDARD PROCTOR OPTIMUM MOISTURE CONTENT, AND THAT COMPACTION TO A MINIMUM OF 100% OF STANDARD PROCTOR DENSITY BE PROVIDED. IN AREAS BELOW THE UPPER THREE FEET OF SUBGRADE OF THE STREETS, TRAVEL WAYS OR PARKING LOTS, THE CONTRACTOR SHALL INSURE THAT ALL SOILS BE NOT MORE THAN THREE PERCENTAGE POINTS OVER THE SOIL'S STANDARD PROCTOR OPTIMUM MOISTURE CONTENT, AND THAT COMPACTION TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY BE PROVIDED. THE GRADING TOLERANCE FOR THESE AREAS SHALL BE WITHIN 0.1".
- LOT GRADING AND/OR THE PREPARATION OF BUILDING PADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE GRADING TOLERANCE SHALL BE 0.30". ALL EARTHWORK OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE HUD-FHA DATA SHEET 79G "LAND DEVELOPMENT WITH CONTROLLED EARTHWORK", PROVIDING FOR A MINIMUM OF 95% STANDARD DENSITY, OR AS OTHERWISE SPECIFIED BY THE GEO-TECHNICAL ENGINEER.
- IN AREAS WHERE RETAINING WALLS ARE PROPOSED ON CONTROLLED FILL AREAS, A MINIMUM 95% STANDARD DENSITY NEEDS TO BE ATTAINED WHERE FILL THICKNESS EXCEEDS 10' BELOW WALL FOUNDATION ELEVATIONS, A HIGHER MINIMUM OF 98% SHALL BE ATTAINED
- BUILDING PADS SHOWN ON EACH LOT ARE TYPICAL ONLY. THE DEPTH OF THE PAD FROM FRONT TO BACK SHALL BE GRADED THROUGHOUT THE FULL WIDTH OF THE LOT OR AS NECESSARY TO ALLOW FOR CONSTRUCTION OF A BUILDING AT THE MINIMUM SIDE YARD SETBACKS. (REFER TO THE PLANS FOR SPECIFIC SETBACK DISTANCES.) IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED WITHIN A PROPOSED BUILDING PAD THAT CANNOT BE CORRECTED OR REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF THE CONDITIONS AND TO LOCATE THE LIMITS OF THE UNSUITABLE AREAS.
- THE SITE GRADING TOLERANCE FOR THE SITE SHOULD BE ±0.1' FOR STREETS AND ±0.30' FOR LANDSCAPED/OPEN AREAS.
- TOPSOIL SHALL BE RE-SPREAD AT A MINIMUM DEPTH OF 6" ON ALL DISTURBED AREAS TO BE VEGETATED.

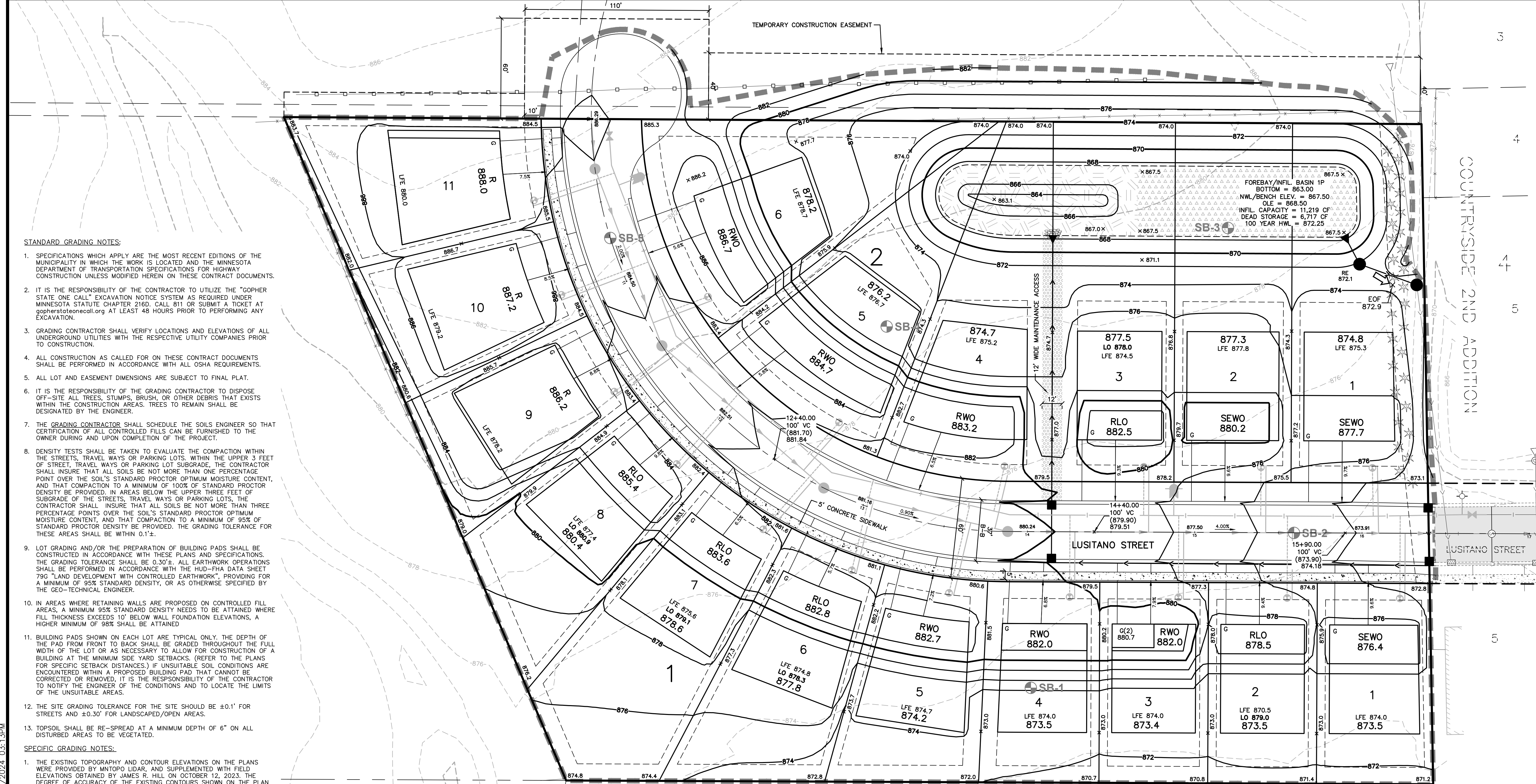
SPECIFIC GRADING NOTES:

- THE EXISTING TOPOGRAPHY AND CONTOUR ELEVATIONS ON THE PLANS WERE PROVIDED BY MNTPO LIDAR, AND SUPPLEMENTED WITH FIELD ELEVATIONS OBTAINED BY JAMES R. HILL ON OCTOBER 12, 2023. THE DEGREE OF ACCURACY OF THE EXISTING CONTOURS SHOWN ON THE PLAN IS EQUAL TO ± ONE HALF THE CONTOUR INTERVAL.
- LEAVE GRADE OF INFILTRATION BENCH 0.25 FT BELOW FINISH GRADE TO LEAVE ROOM FOR THE TOPSOIL TILL-IN AFTER HOME CONSTRUCTION. STOCKPILE ADEQUATE TOPSOIL NEAR THE INFILTRATION BENCH, SEED AND SURROUND WITH SILT FENCE.

LEGEND



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James R. Hill, Inc.
PLANNERS / ENGINEERS / SURVEYORS
2999 W. Cty. Rd. 42, SUITE 100, BURNSVILLE, MN 55306
PHONE: (952)890-6044 FAX: (952)890-6244

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
Date: _____ Reg. No. _____

COUNTRYSIDE 3RD ADDITION
SHAKOPEE, MINNESOTA

GRADING & DRAINAGE PLAN

FOR
DONNAY HOMES, INC.
9655 63RD AVENUE NORTH, MAPLE GROVE, MN 55369

DRAWN BY	EPF
DATE	11/06/23
REVISIONS	
12/28/2023 CITY COMMENTS	
01/24/2024 SOILS REPORT	
CAD FILE	24119G
PROJECT NO.	24119
	4.0